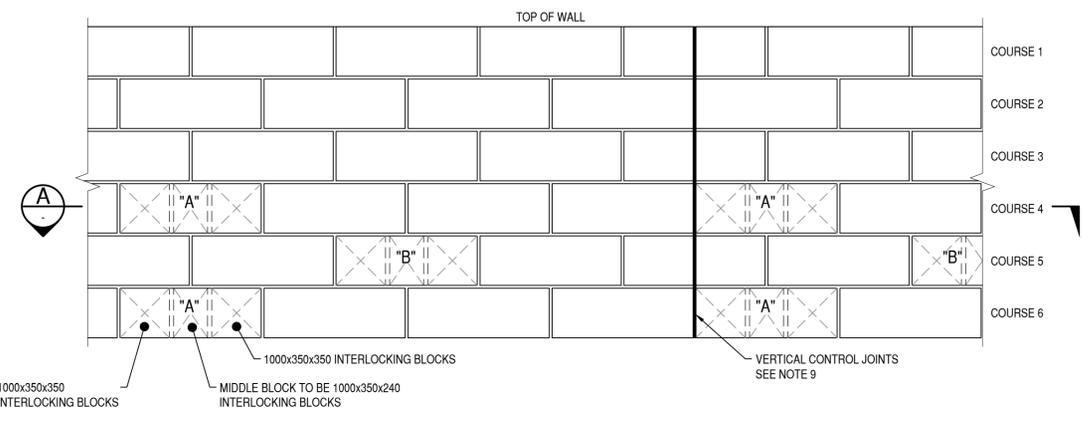
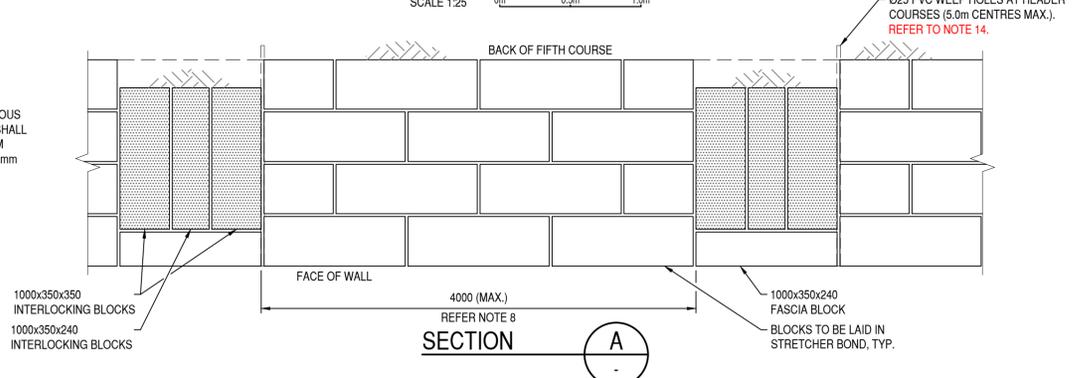


LIMESTONE RETAINING WALL AND FENCE NOTES

1. COMPACT GROUND UNDER FOOTING TO RESIST 8 BLOWS PER 300mm OF A STANDARD 16mm DIA PENETROMETER OVER A DEPTH OF 600mm
2. LIMESTONE BLOCKS TO BE A MINIMUM DENSITY OF 1500kg/m³ (DRY), RECONSTITUTED LIMESTONE BLOCKS TO BE A MINIMUM DENSITY OF 1800kg/m³ (DRY)
3. MORTAR MIX SHALL COMPRISE 1 PART WHITE CEMENT, 1 PART LIME PUTTY, AND 6 PARTS CLEAN YELLOW SAND OR 1 PART WHITE CEMENT, 0.5 PART LIME PUTTY AND 4.5 PARTS YELLOW SAND IF LESS THAN 1km FROM THE COAST. ALL BLOCK WORK SHALL BE FULLY MORTARED TO ADJACENT BLOCKS.
4. THESE WALLS ARE APPLICABLE FOR CLASS 'S' CONDITIONS ONLY TO AS 2870. ALL OTHER CONDITIONS TO BE REFERRED TO ENGINEER.
5. ALL RETAINING WALLS HAVE BEEN CALCULATED WITH A HORIZONTAL BACKFILL. ANY OTHER CIRCUMSTANCES TO BE ASSESSED INDIVIDUALLY.
6. THE RETAINING WALL HAS BEEN DESIGNED TO SUPPORT A 5kPa SURCHARGE.
7. INTERLOCKING BLOCK COURSING TO BE STAGGERED AS PER TYPICAL DETAIL.
8. WALL TO HAVE INTERLOCKING BLOCKS COMMENCING AT 4th COURSE FROM TOP, PERPENDICULAR TO FACING AT MAXIMUM 4m SPACING TO ACHIEVE INTERLOCK OF STRUCTURE.
9. WALLS SHALL HAVE VERTICAL CONTROL JOINTS AT INTERVALS OF NO MORE THAN 6 METRES FOR TYPE 1 WALLS, 7 METRES FOR TYPE 2 AND 3 WALLS, PREFERABLY LOCATED AT PROPERTY BOUNDARIES. JOINTS REQUIRED ALSO ON CORNERS AS PER ATTACHED DETAIL. JOINTS SHALL BE 20mm WIDE, BE FILLED WITH A 25mm CLOSED CELL FOAM AND SEALED WITH AN APPROVED POLYURETHANE JOINT FILLER.
10. NO BACKFILLING UNTIL 7 DAYS AFTER WALLS HAVE BEEN BUILT. COMPACT USING LIGHT EQUIPMENT TO DISTANCE BACK FROM THE FACE OF WALL EQUAL TO THE EFFECTIVE HEIGHT.
11. FENCE TO BE PROPRIETARY SYSTEM BY OTHERS - WALL DESIGNED FOR WIND REGION A ONLY.
12. FENCE POSTS SHALL BE AT 2400mm MAXIMUM CENTRES.
13. A NON SACRIFICIAL ANTI GRAFFITI COATING IS TO BE APPLIED TO WALLS FACING A ROAD, P.A.W. OR P.O.S.
14. WEEPHOLES TO BE CONSTRUCTED IN WALLS WHERE FOOTINGS ARE IN CLAY, ROCK, CAPSTONE OR LESS THAN 600mm OF SAND AND/OR IN AREAS OF HIGH GROUND WATER (TYP.).



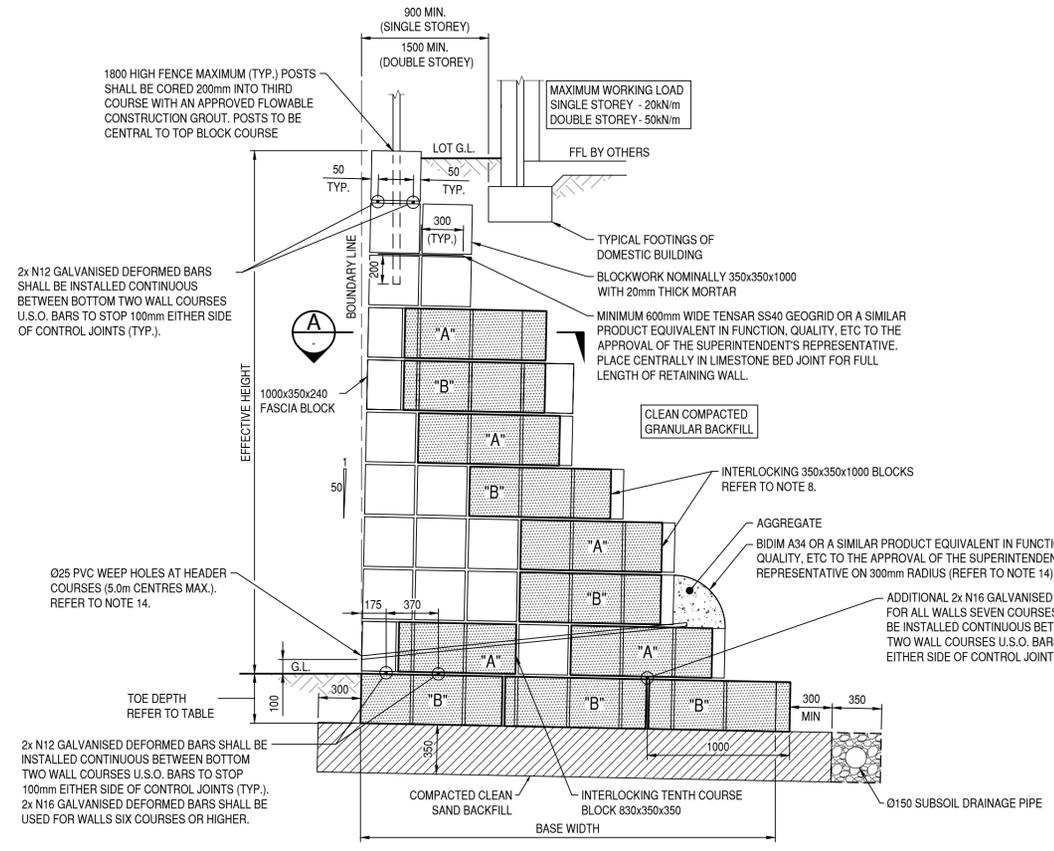
TYPICAL LIMESTONE RETAINING WALL "TYPE 3" ELEVATION
SCALE 1:25



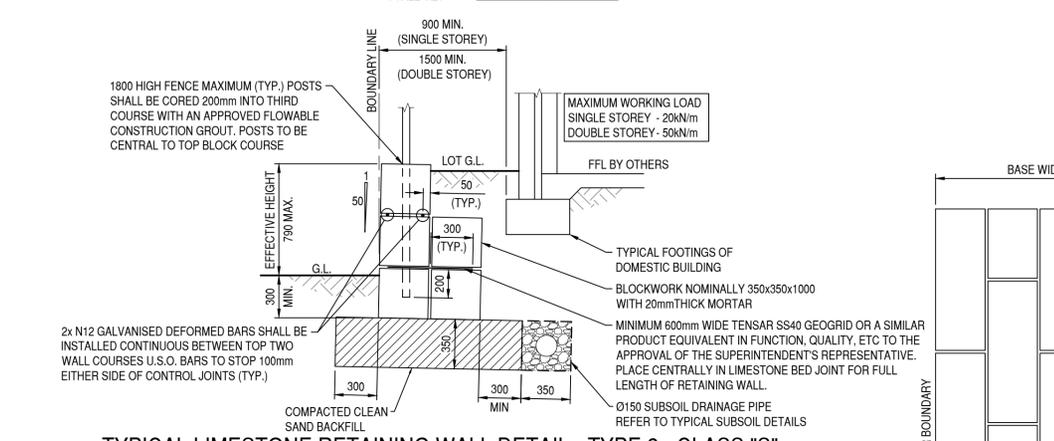
TYPICAL LIMESTONE RETAINING WALL HEADER LAYOUT
SCALE 1:25

WALL TYPE "3"

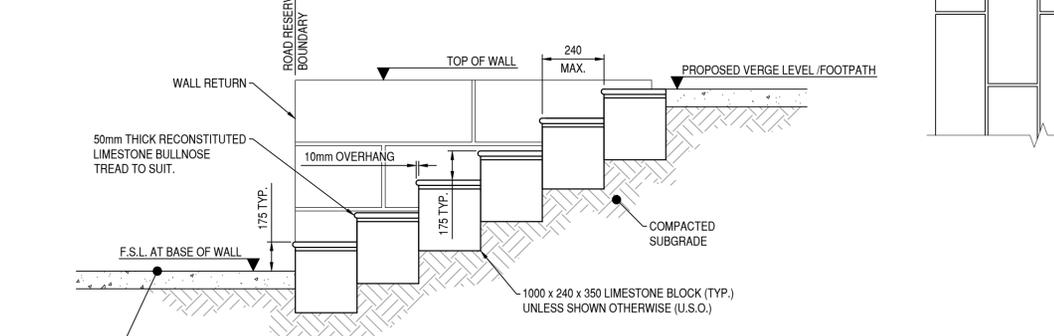
COURSES	TOTAL HEIGHT	EFFECTIVE HEIGHT RANGE	BASE WIDTH	MIN. TOE DEPTH
4	1460	790 - 1110	1090	350
5	1830	1111 - 1480	1460	350
6	2200	1481 - 1850	1460	350
7	2570	1851 - 2170	1830	400
8	2940	2171 - 2540	2200	400
9	3310	2541 - 2810	2200	500
10	3680	2811 - 3180	2570	500
11	4050	3181 - 3550	2940	500



TYPICAL LIMESTONE RETAINING WALL DETAIL - TYPE 3 - CLASS "S"
SCALE 1:25

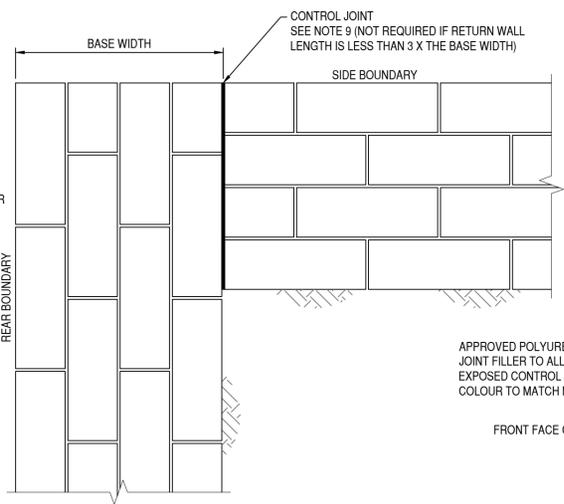


TYPICAL LIMESTONE RETAINING WALL DETAIL - TYPE 2 - CLASS "S"
SCALE 1:25

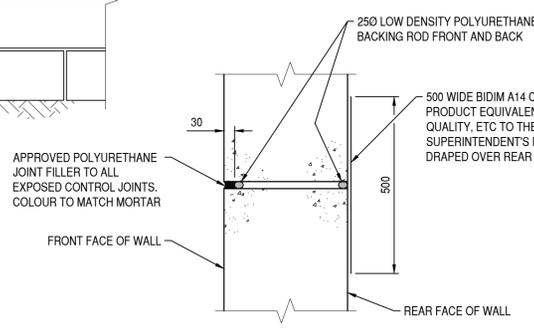


TYPICAL LIMESTONE STEP DETAIL

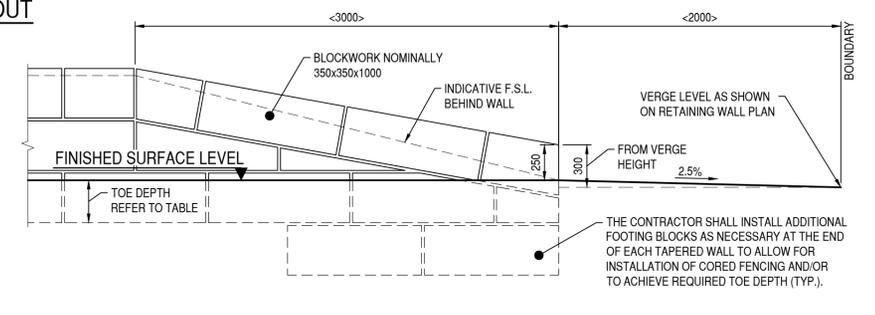
N.T.S.
NOTE
NUMBER OF STEPS MAY VARY. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE NUMBER OF STEPS IN EACH SITUATION. REFER TO RETAINING WALL LAYOUT DRAWING.



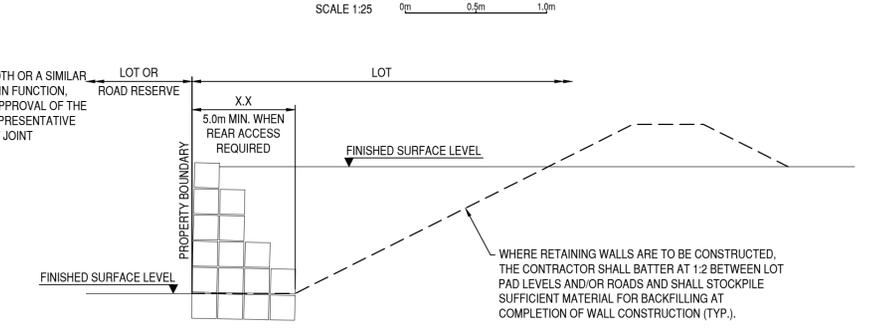
PLAN VIEW OF CORNER CONTROL JOINT LOCATION
SCALE 1:25



VERTICAL CONTROL JOINT DETAIL
SCALE 1:10



TYPICAL LIMESTONE RETAINING WALL FRONT TAPER TO SIDE BOUNDARY DETAIL
SCALE 1:25



RETAINING WALL TEMPORARY BATTER DETAIL
SCALE 1:50

TYPICAL CLASS 'S' RETAINING WALL DETAILS

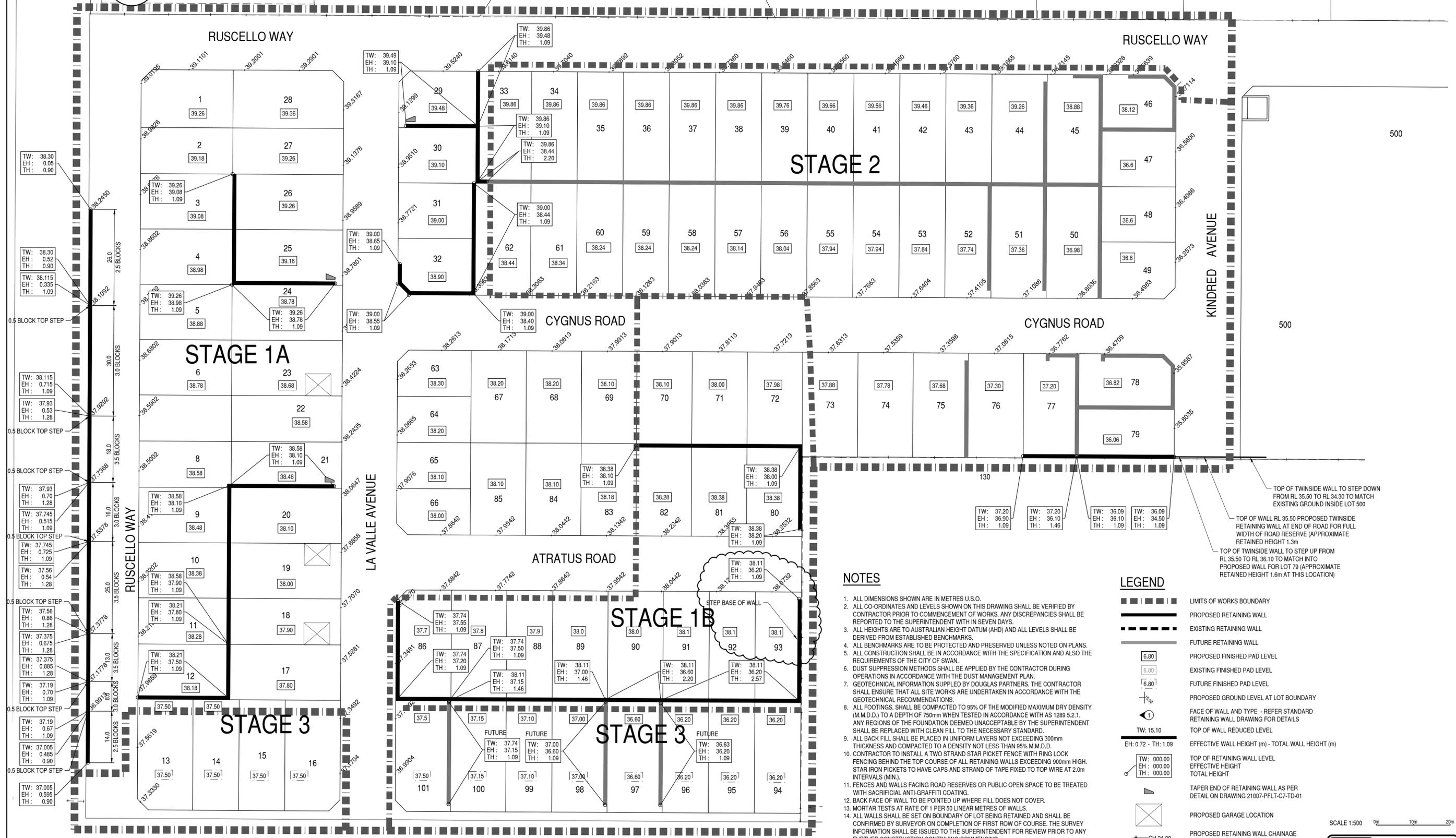
C1-A-02
AS SHOWN

		DRAWING STATUS FOR CONSTRUCTION		CLIENT & JOB LANDGROUP WA PTY LTD 128 / 129 / 140 HENLEY STREET, HENLEY BROOK	
DATE FEBRUARY 2022	GRD PCG94	DATUM AHD	TITLE TYPICAL DETAILS - RETAINING WALLS STAGE 1A/1B		
DESIGNED RMH	DRAWN RMH	CHECKED -	APPROVED -	SCALE I.I.D. AS SHOWN @	SHEET SIZE A1
REV 1	DATE 20/6/2022	DESCRIPTION ISSUED FOR CONSTRUCTION	BY RMH	CHKD CJ	REV 1
REV A	DATE 3/3/2022	DESCRIPTION INITIAL ISSUE	BY RMH	CHKD CJ	REV 1
PROJECT NO. 161294		DRAWING NO. AS SHOWN @		SHEET NO. A1	
CLIENT & JOB 21007-PFLT-C7-TD-01		TITLE TYPICAL DETAILS - RETAINING WALLS STAGE 1A/1B			



2924

2908



NOTES

- ALL DIMENSIONS SHOWN ARE IN METRES U.S.O.
- ALL CO-ORDINATES AND LEVELS SHOWN ON THIS DRAWING SHALL BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT WITHIN SEVEN DAYS.
- ALL HEIGHTS ARE TO AUSTRALIAN HEIGHT DATUM (AHD) AND ALL LEVELS SHALL BE DERIVED FROM ESTABLISHED BENCHMARKS.
- ALL BENCHMARKS ARE TO BE PROTECTED AND PRESERVED UNLESS NOTED ON PLANS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND ALSO THE REQUIREMENTS OF THE CITY OF SWAN.
- DUST SUPPRESSION METHODS SHALL BE APPLIED BY THE CONTRACTOR DURING OPERATIONS IN ACCORDANCE WITH THE DUST MANAGEMENT PLAN.
- GEOTECHNICAL INFORMATION SUPPLIED BY DOUGLAS PARTNERS. THE CONTRACTOR SHALL ENSURE THAT ALL SITE WORKS ARE UNDERTAKEN IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS.
- ALL FOOTINGS, SHALL BE COMPACTED TO 95% OF THE MODIFIED MAXIMUM DRY DENSITY (M.M.D.) TO A DEPTH OF 750mm WHEN TESTED IN ACCORDANCE WITH AS 1289 5.2.1. ANY REGIONS OF THE FOUNDATION DEEMED UNACCEPTABLE BY THE SUPERINTENDENT SHALL BE REPLACED WITH CLEAN FILL TO THE NECESSARY STANDARD.
- ALL BACK FILL SHALL BE PLACED IN UNIFORM LAYERS NOT EXCEEDING 300mm THICKNESS AND COMPACTED TO A DENSITY NOT LESS THAN 95% M.M.D.
- CONTRACTOR TO INSTALL A TWO STRAND STAR PICKET FENCE WITH RING LOCK FENCING BEHIND THE TOP COURSE OF ALL RETAINING WALLS EXCEEDING 900mm HIGH. STAR IRON PICKETS TO HAVE CAPS AND STRAND OF TAPE FIXED TO TOP WIRE AT 2.0m INTERVALS (MIN).
- FENCES AND WALLS FACING ROAD RESERVES OR PUBLIC OPEN SPACE TO BE TREATED WITH SACRIFICIAL ANTI-GRAFFITI COATING.
- BACK FACE OF WALL TO BE POINTED UP WHERE FILL DOES NOT COVER.
- MORTAR TESTS AT RATE OF 1 PER 50 LINEAR METRES OF WALLS.
- ALL WALLS SHALL BE SET ON BOUNDARY OF LOT BEING RETAINED AND SHALL BE CONFIRMED BY SURVEYOR ON COMPLETION OF FIRST ROW OF COURSE. THE SURVEY INFORMATION SHALL BE ISSUED TO THE SUPERINTENDENT FOR REVIEW PRIOR TO ANY FURTHER CONSTRUCTION CONTINUING/COMMENCING.
- CONTRACTOR TO OBTAIN BUILDING LICENCE.
- FOR RETAINING WALL STANDARD DETAILS REFER DRAWING 21007-PFLT-C7-TD-01.
- ALL BLOCKS TO BE RECONSTITUTED LIMESTONE UNLESS SHOWN OTHERWISE.
- AS-CONSTRUCTED INFORMATION SHALL BE RECORDED AS THE WORK IS CARRIED OUT AND TIED TO CADASTRAL BOUNDARIES BY A QUALIFIED SURVEYOR. SUBMIT ALL DETAILS TO SUPERINTENDENT.

LEGEND

- LIMITS OF WORKS BOUNDARY
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- FUTURE RETAINING WALL
- PROPOSED FINISHED PAD LEVEL
- EXISTING FINISHED PAD LEVEL
- FUTURE FINISHED PAD LEVEL
- PROPOSED GROUND LEVEL AT LOT BOUNDARY
- FACE OF WALL AND TYPE - REFER STANDARD RETAINING WALL DRAWING FOR DETAILS
- TOP OF WALL REDUCED LEVEL
- EFFECTIVE WALL HEIGHT (m) - TOTAL WALL HEIGHT (m)
- TOP OF RETAINING WALL LEVEL
- EFFECTIVE HEIGHT
- TOTAL HEIGHT
- TAPER END OF RETAINING WALL AS PER DETAIL ON DRAWING 21007-PFLT-C7-TD-01
- PROPOSED GARAGE LOCATION
- PROPOSED RETAINING WALL CHAINAGE (REFER TO PROFILE)

SCALE 1:500



The Essential First Step.

REV	DATE	DESCRIPTION	BY	CHKR	REV	DATE	DESCRIPTION	BY	CHKR
1	20/6/2022	ISSUED FOR CONSTRUCTION	RMH	CJ					
D	10/6/2022	WESTERN WALL AMENDED	RMH	CJ					
C	20/5/2022	WALL AMENDED ON WESTERN BOUNDARY AND WALLS ADDED TO STAGE 1 WORKS AT END OF KINDRED AVE	RMH	CJ					
B	6/4/2022	AMENDED FOR COUNCIL RESUBMISSION	RMH	CJ					
A	3/3/2022	INITIAL ISSUE	RMH	CJ	2	7/12/2022	WALL ADJACENT EXISTING PROPERTY UPDATED	RMH	CJ

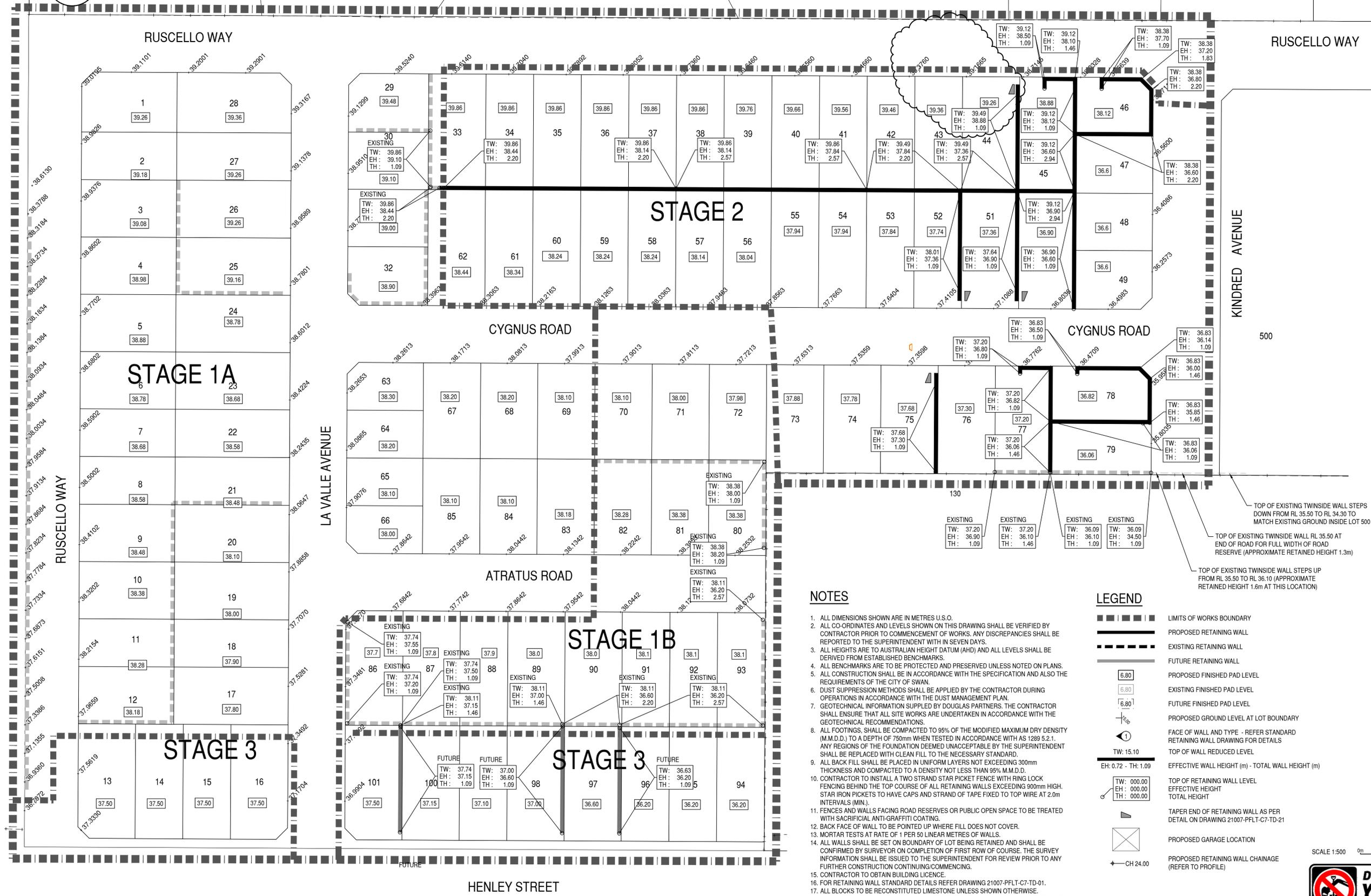
pritchard francis lite
civil engineering consultants

DRAWING STATUS				CLIENT	JOB
FOR CONSTRUCTION				LANDGROUP WA PTY LTD	128 / 129 / 140 HENLEY STREET, HENLEY BROOK
DATE	FEBRUARY 2022	GRD	PCG94	DATUM	AHD
DESIGNED	RMH	DRAWN	RMH	CHECKED	APPROVED
SCALE	1:500	SHEET	A1	TITLE	RETAINING WALL PLAN STAGES 1A AND 1B
NO.	161294	SCALE	1:500	SHEET	21007-PFLT-C1-EW-01
REV		NO.		REV	



2924

2908



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- ALL BACK FILL SHALL BE PLACED IN UNIFORM LAYERS NOT EXCEEDING 300mm THICKNESS AND COMPACTED TO A DENSITY NOT LESS THAN 95% M.M.D.D.
- CONTRACTOR TO INSTALL A TWO STRAND STAR PICKET FENCE WITH RING LOCK FENCING BEHIND THE TOP COURSE OF ALL RETAINING WALLS EXCEEDING 900mm HIGH. STAR IRON PICKETS TO HAVE CAPS AND STRAND OF TAPE FIXED TO TOP WIRE AT 2.0m INTERVALS (MIN).
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- CONTRACTOR TO OBTAIN BUILDING LICENCE.
- FOR RETAINING WALL STANDARD DETAILS REFER DRAWING 21007-PFLT-C7-TD-01.
- ALL BLOCKS TO BE RECONSTITUTED LIMESTONE UNLESS SHOWN OTHERWISE.
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- EXISTING RETAINING WALL
- FUTURE RETAINING WALL
- PROPOSED FINISHED PAD LEVEL
- EXISTING FINISHED PAD LEVEL
- FUTURE FINISHED PAD LEVEL
- PROPOSED GROUND LEVEL AT LOT BOUNDARY
- FACE OF WALL AND TYPE - REFER STANDARD RETAINING WALL DRAWING FOR DETAILS
- TOP OF WALL REDUCED LEVEL
- EFFECTIVE WALL HEIGHT (m) - TOTAL WALL HEIGHT (m)
- TOP OF RETAINING WALL LEVEL
- EFFECTIVE HEIGHT
- TOTAL HEIGHT
- TAPER END OF RETAINING WALL AS PER DETAIL ON DRAWING 21007-PFLT-C7-TD-01
- PROPOSED GARAGE LOCATION
- PROPOSED RETAINING WALL CHAINAGE (REFER TO PROFILE)

TOP OF EXISTING TWINSIDE WALL STEPS DOWN FROM RL 35.50 TO RL 34.30 TO MATCH EXISTING GROUND INSIDE LOT 500

TOP OF EXISTING TWINSIDE WALL RL 35.50 AT END OF ROAD FOR FULL WIDTH OF ROAD RESERVE (APPROXIMATE RETAINED HEIGHT 1.3m)

TOP OF EXISTING TWINSIDE WALL STEPS UP FROM RL 35.50 TO RL 36.10 (APPROXIMATE RETAINED HEIGHT 1.6m AT THIS LOCATION)

SCALE 1:500



REV	DATE	DESCRIPTION	BY	CHKR	REV	DATE	DESCRIPTION	BY	CHKR
3	14/2/2023	WALL UPDATED TO MATCH STAGE 1 PLAN	RMH	CJ					
2	17/8/2022	RE-ISSUED TO COUNCIL TO MATCH UPDATED STAGE 1 PLANS	RMH	CJ					
1	20/6/2022	ISSUED FOR CONSTRUCTION	RMH	CJ					
C	2/5/2022	WALLS MOVED FROM STAGE 2 TO STAGE 1 WORKS	RMH	CJ					
B	6/4/2022	AMENDED FOR COUNCIL RESUBMISSION	RMH	CJ					
A	3/3/2022	INITIAL ISSUE	RMH	CJ					



FOR CONSTRUCTION			
DATE	GRD	DATUM	
FEBRUARY 2022	PCG94	AHD	
DESIGNED	DRAWN	CHECKED	APPROVED
RMH	RMH		
SCALE	SCALE	SCALE	SCALE
1:500	1:500	1:500	1:500

CLIENT	LANDGROUP WA PTY LTD
ADDRESS	128 / 129 / 140 HENLEY STREET, HENLEY BROOK
TITLE	RETAINING WALL PLAN STAGE 2
SCALE	SCALE 1:500 @
SHEET NO.	A1
PROJECT NO.	21007-PFLT-C1-EW-21
REVISION	3